

12.3102 Exception 3102

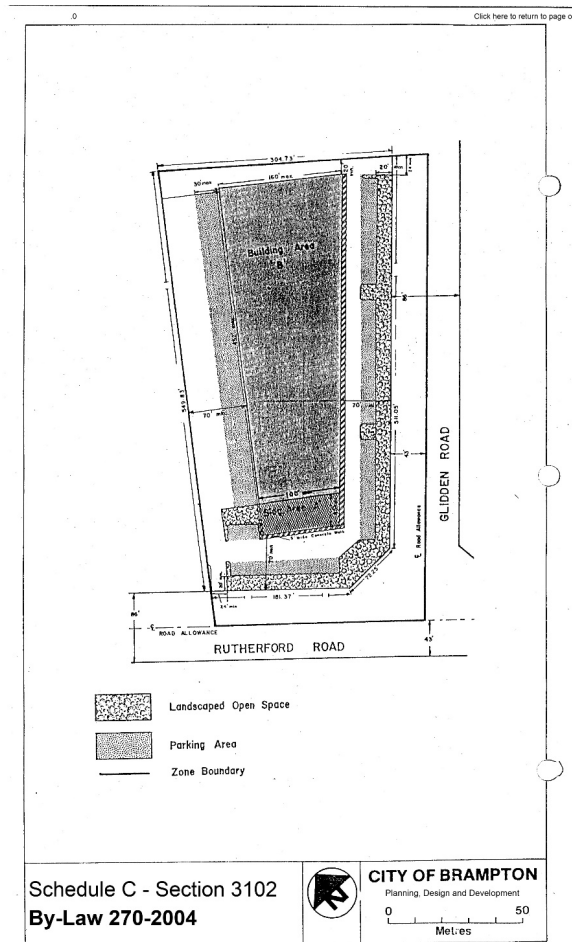
12.3102.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in the **M1-PE zone** of this by-law; and,
- .2 a bank.

12.3102.2 The lands shall be subject to the following requirements and restrictions:

- .1 the location of a bank shall be limited to the area shown as Building Area A on **Schedule C Figure 1-3102** to this by-law;
- .2 the area of any structure or building to be occupied by the bank shall be restricted to a maximum of 30.4 metres by 13.6 meters as shown on **Schedule C Figure 1-3102** of this by-law;
- .3 a minimum of twenty-one (21) parking spaces shall be provided for the exclusive use of the bank employees and customers, and such parking shall be in addition to any parking required in this by-law for the other uses located on the said lands;
- .4 a pedestrian walkway of 1.5 metres shall be provided along the westerly and southerly sides of the bank building;
- .5 Landscaped Open Space as shown on **Schedule C Figure 1-3102** to this by-law shall be provided and maintained;
- .6 the Maximum Height of any structure of building to be located on the said land shall be one (1) storey above established grade;
- .7 the Minimum Yard requirements shall be as shown on **Schedule C Figure 1-3102** to this bylaw;
- .8 Loading and Unloading shall be permitted only along the northerly side of any structure or building to be located on the said lands;
- .9 Open Storage of goods and raw materials shall be prohibited.

Figure 1



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12.3104 Exception 3104

12.3104.1 The lands shall only be used for the following purposes:

- .1 single detached dwelling.

12.3104.2 The lands shall be subject to the following requirements and restrictions:

- .1 nothing in this section shall prevent the occupant of a single detached dwelling from carrying on any domestic or household art not affecting the amenity of the neighbourhood or a professional person from occupying one or more rooms as an office, providing there is no display of goods or advertising other than a plaque no larger than 0.09 square metres;
- .2 no dwelling shall have a floor area, exclusive of basement, verandah, garage, or attic, of less than seventy-four (74) square metres, and shall be of brick, brick veneer, stone or stucco over masonry construction; and,
- .3 every residence shall be constructed on land having a lot width of at least eighteen (18) metres.

12.3104.3 for the purposes of ~~section~~ Exception 3104:

- .1 for the purposes of this section, a Single Detached Dwelling is defined as a building occupied, or intended to be occupied, as a dwelling by one family alone, and containing only one kitchen and may include a private garage and other accessory buildings.

12.3107 Exception 3107

12.3107.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in the **C3-GC zone** to this by-law, except for an amusement arcade; and,
- .2 movie theatres.

12.3107.2 The lands shall be subject to the following requirements and restrictions:

- .1 movie theatres shall only be permitted up to an aggregate maximum of 3 screens and 780 seats;

12.3110 Exception 3110

12.3110.1 The lands shall only be used for the following purposes:

- .1 shall be used only for those purposes permitted in an ~~R1D-R1M~~ zone.

12.3110.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Street Centre Line Setback: 13 metres, provided that the minimum distance to the front of the garage is 14.5 metres.
- .2 Minimum Side Yard Width:
 - .a adjacent to the north and south zone boundary, 1.2 metres for a one storey dwelling; and 0.1 metres for each additional storey or part thereof;
 - .b otherwise, 0.9 metres, provided that where the space between the walls of two dwellings is less than 2.4 metres, no window below grade or door will be permitted in any wall abutting that space.
- .3 Maximum Building Height: two storeys

12.3111 Exception 3111

12.3111.1 The lands shall only be used for the following purposes:

- .1 a retail establishment having no outside storage;
- .2 a service shop;
- .3 a bank, trust company, finance company;
- .4 an office;
- .5 a dry-cleaning and laundry distribution station;
- .6 a laundromat;
- .7 a parking lot;
- .8 a health centre;
- .9 a grocery store; or,
- .10 a children's¹ mental health centre.

12.3111.2 The lands shall be subject to the following requirements and restrictions:

- .1 facilities for the overnight accommodation of staff or patients shall not be permitted in a children's mental health centre.

12.3111.3 for the purposes of ~~section~~ Exception 3111:

- .1 Children's' Mental Health Centre shall mean a building or place maintained and operated to provide services for children suffering from mental, emotional, or psychiatric disorders or any combination thereof, which has been approved under the Children's Mental Health Services Act (R. S. O. 1980, C.69, as amended).

12.3114 Exception 3114

12.3114.1 The lands shall only be used for the following purposes:

- .1 shall only be used for a single detached dwelling.

12.3114.2 The lands shall be subject to the following requirements and restrictions:

- .1 the main building shall not occupy more than thirty (30) percent of the lot area;
- .2 the building area of all accessory buildings and structures, including a swimming pool covered or enclosed by a permanent structure, shall not exceed ten percent of the lot area; and,
- .3 the minimum lot area, minimum lot width, minimum lot depth, minimum side yard width, front yard and rear yard depth requirements of the **R1ME** zone shall not apply. (266-06)

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12.3114.3 for the purposes of ~~section-Exception~~ 3114:

- .1 shall not be subject to provisions contained on **Schedules 'B-1', 'B-2', 'B-3' and 'B-4'** of this By-law.

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12.3117 Exception 3117

12.3117.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a **C1-LC zone**; and,
- .2 a gas bar.

12.3117.2 The lands shall be subject to the following requirements and restrictions:

- .3 all gasoline pump islands and related canopies shall be located a minimum of 5.2 metres from any street line and a minimum of 7.5 metres from any lot line adjoining a residential zone. In the case of a corner property, the gasoline pump islands shall be located at a minimum distance of 3 metres back from a straight line between points on the lot lines abutting the streets, each such point being a distance of 15 metres from the intersection of the said lot lines;
- .4 the Minimum Front Yard Setback for a gas bar kiosk shall be 6.5 metres;
- .5 all building openings shall be at an elevation of 207.09 metres or higher;
- .6 all garbage and refuse containers shall be enclosed; and,
- .7 garbage and refuse containers for a restaurant shall be located within a climate controlled area within the building.

12.3117.3 for the purposes of ~~section Exception~~ 3117:

- .1 shall, in respect of the purposes permitted in ~~section~~**Exception 12.3117.1.1(a)** be subject to the requirements and restrictions relating to the **C1-LC zone** and all the general provisions of the by-law that are not in conflict with those set out ~~in Exception~~**section 12.3117.2**.
- .2 shall, in respect of the purposes permitted in ~~Exception~~**section 12.3117.1.2(2)** be subject to the requirements and restrictions relating to the **HC2GC zone** and all the general provisions of this by-law that are not in conflict with these set out in ~~section~~**Exception 12.3117.2**.

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12.3118 Exception 3118

12.3118.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in an ~~R1B~~ **R1M** zone;
- .2 a community club; and,
- .3 a recreation facility.

12.3119 Exception 3119

12.3119.1 The lands shall only be used for the following purposes:

- .1 offices for Bell Canada; and,
- .2 purposes accessory to the other permitted purpose.

12.3122 Exception 3122

12.3122.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a **R1A** zone;
- .2 a funeral home;
- .3 purposes accessory to the other permitted purposes.

12.3122.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
 - .a Interior Lot: 23 metres
 - .b Corner Lot: 26 metres
- .2 Minimum Yard Depth from Lot Line abutting Main Street South: 40 metres.
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: 750 square metres, subject to the following:
 - .a Maximum gross residential floor area shall be dictated by a sliding scale floor space index which operates as follows:
 - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
 - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
 - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by 0.01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and,
 - .iv for lots in excess of 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 750 square metres.

12.3124 Exception 3124

12.3124.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **M1-PE Zone** of this by-law.

12.3124.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Centre Line Setback shall be 24.35 metres from the centre line of Holtby Avenue.

12.3125 Exception 3125

12.3125.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in an **R4A-R3L** zone of this by-law; and,
- .2 the purposes permitted in a **LCC1** zone of this by-law, except for a dining room restaurant, a convenience or a take-out restaurant.

12.3125.2 The lands shall be subject to the following requirements and restrictions:

- .1 the maximum amount of gross commercial floor area used for commercial purposes shall not exceed 460 square metres; and,
- .2 commercial purposes shall only be permitted on the ground floor of the apartment dwelling.

12.3125.3 for the purposes of ~~section~~ **Exception 3125**:

- .1 shall also, in respect of the commercial purposes, be subject to the requirements and restrictions relating to the **C1LC** zone not in conflict with the ones set out in **sections Exception 12.3125.2**.

12.3126 Exception 3126

12.3126.1 The lands shall only be used for the following purposes:

- .1 single-family attached dwellings.

12.3126.2 The lands shall be subject to the following requirements and restrictions:

- .1 not more than 116 dwelling units shall be erected on this site;
- .2 Maximum Gross Floor Area per dwelling unit: 83 square metres;
- .3 Maximum Building Area: 25 percent of the lot area;
- .4 Maximum Height per dwelling unit: 18.6 metres;
- .5 Minimum Number of parking spaces per unit: two (2), one (1) of which shall be provided within the unit and one of which shall be provided in the driveway to the unit;
- .6 off-street parking facilities shall be provided for visitor parking on the basis of one (1) parking space for each five (5) dwelling units and the aforesaid parking facilities shall be signed accordingly;
- .7 all parking spaces, aisles and driveways shall be useable in all seasons and finished with a stable, dustless surface; and,
- .8 not less than sixty (60) percent of the total site area shall be maintained as landscaped open space

12.3126.3 for the purposes of ~~section~~ Exception 3126:

- .1 for the purposes of this section, Single-Family Attached Dwelling shall mean a building divided vertically into three (3) or more single-family attached dwelling units by common walls and with private front and rear access to each unit.

12.3128 Exception 3128

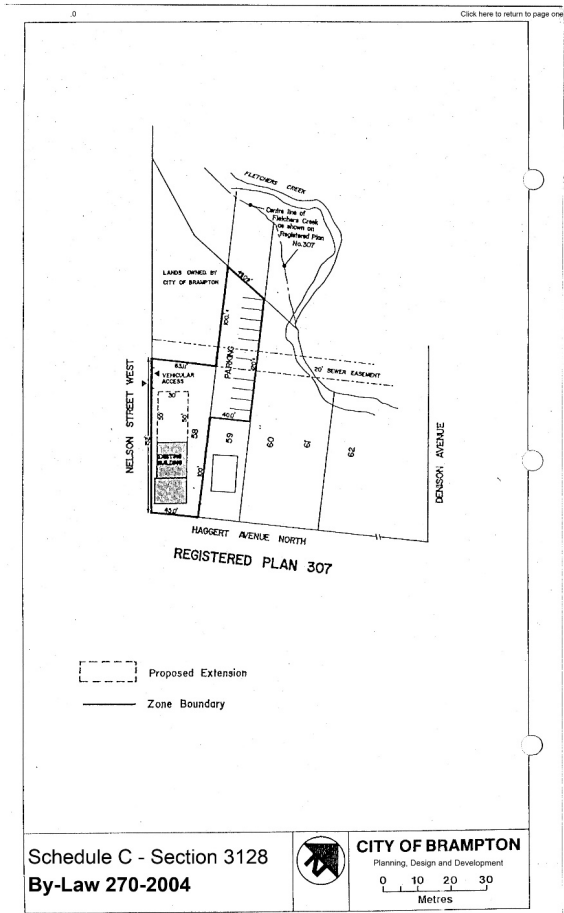
12.3128.1 The lands shall only be used for the following purposes:

- .1 in respect of the area shown as the Existing Building on ~~Schedule C~~Figure 1-3128 to this bylaw, an office and warehouse; and,
- .2 in respect of the area shown as the Proposed Extension on ~~Schedule C~~Figure 1-3128, inside storage of goods as accessory to the existing office and warehouse.

12.3128.2 The lands shall be subject to the following requirements and restrictions:

- .1 the existing building as shown on ~~Schedule C~~Figure 1-3128 may be extended to the west by maximum gross floor area of 139.35 square metres;
- .2 the proposed building shall be located within the area shown as Proposed Extension on ~~Schedule C~~Figure 1-3128 to this by-law;
- .3 the Maximum Height of the proposed building shall be one storey;
- .4 a minimum number of 12 parking spaces shall be provided on the site as shown on ~~Schedule C~~Figure 1-3128 to this by-law; and,
- .5 outside storage of goods shall be prohibited.

Figure 1



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12.3129 Exception 3129

12.3129.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1B-R1M** zone.

12.3129.2 The lands shall be subject to the following requirements and restrictions:

- .1 a Minimum Lot Depth of 24.4 metres;
- .2 a Minimum Lot Area of 371.6 square metres; and,
- .3 the Rear Yard shall be not less than 7.6 metres in depth, except that the rear yard may be occupied by a portion of a main building located not less than 6.1 metres from the rear lot line, provided that the main building does not occupy more than fiftyfive (55) percent of the rear yard width and that at least thirty-five (35) percent of the rear yard area is maintained in one contiguous unit, with a depth of a least 7.6 metres.

12.3131 Exception 3131

12.3131.1 The lands shall only be used for the following purposes:

- .1 prepared food take-out facility; and,
- .2 purposes permitted in **the M2-GE zone.**

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12.3131.2 The lands shall be subject to the following requirements and restrictions:

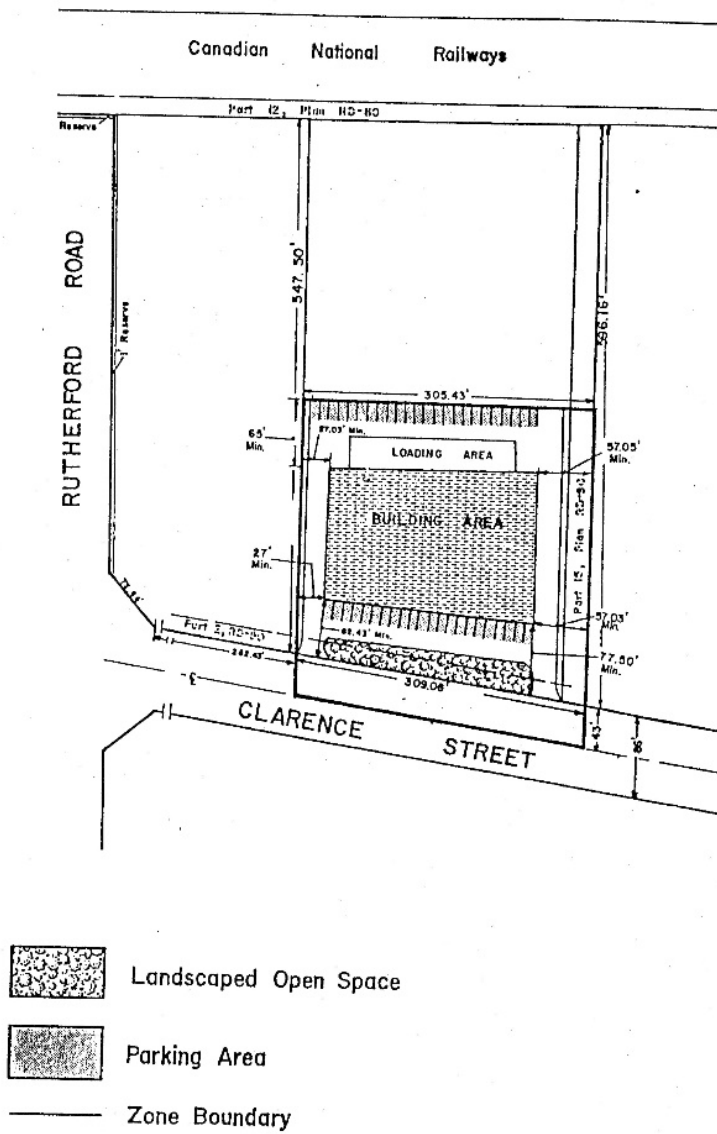
- .1 no facilities shall be provided to enable food to be consumed in the building;
- .2 the Building Area shall be located as shown on **Schedule CFigure 1-3131** to this by-law;
- .3 the front, side and rear yard depths and widths shall be as shown on **Schedule CFigure 1-3131** to this by-law;
- .4 the Maximum Gross Floor Area of the prepared food take-out facility shall not exceed 325.2 square metres, and no more than 23.3 square metres shall be dedicated to customers purchasing food;
- .5 no less than 45 off-street parking spaces shall be provided and shall occupy area shown as Parking Areas on **Schedule CFigure 1-3131** to this by-law;
- .6 no parking shall be permitted along the east side of the building, and a minimum width of 7.9 metres of pavement shall be provided to permit a two way traffic flow along the east side of the building, to provide access to a parcel of land to the north, as shown on **Schedule CFigure 1-3131** to this bylaw;
- .7 a Loading Area shall be provided for the various units in the building and shall occupy an area indicated as Loading Area and shown **on Schedule CFigure 1-3131** to this bylaw; and,
- .8 Landscaped Open Space shall be provided and shall occupy an area shown as Landscaped Open Space on **Schedule CFigure 1-3131** to this by-law.

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12.3131.3 for the purposes of ~~section-Exception~~ 3131.:

- .1 for the purposes of this section, a Prepared Food Take-Out Facility shall mean a commercial kitchen, a portion of a building used for the preparation of food to be consumed away from the building

Figure 1



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12.3135 Exception 3135

12.3135.1 The lands shall only be used for the following purposes:

- .1 a single-family attached dwelling; and,
- .2 purposes accessory to the other permitted purpose

12.3135.2 The lands shall be subject to the following requirements and restrictions:

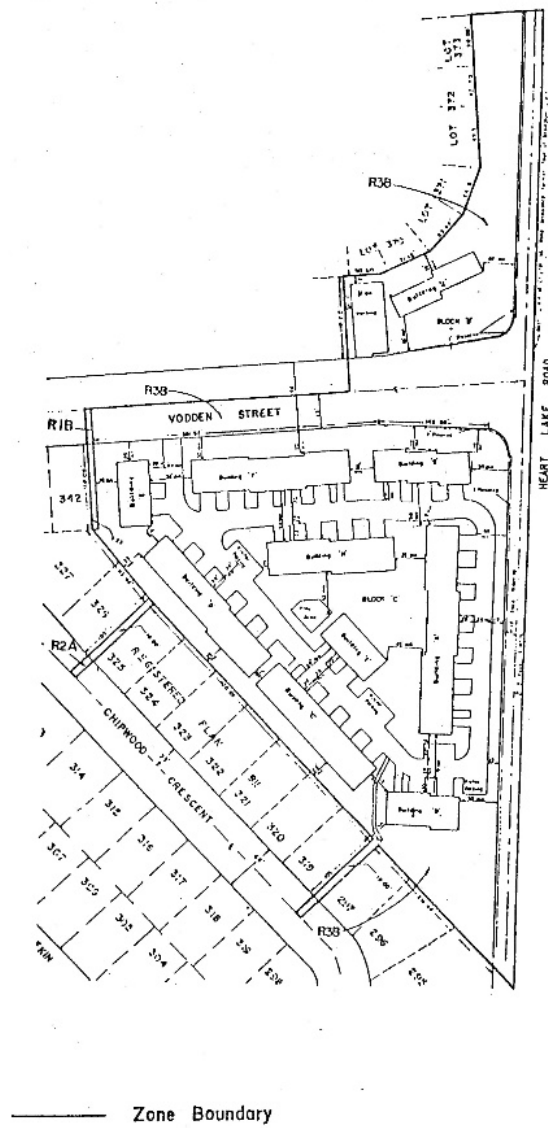
- .1 no more than 6 dwelling units shall be erected within Building J, as shown on [Schedule C Figure 1-3135](#) to this by-law;
- .2 no more than 70 dwelling units in total shall be erected within Building A, B, C, D, E, F, G, H, and I, as shown on [Schedule C Figure 1-3135](#) to this by-law;
- .3 Yards shall be as shown on [Schedule C Figure 1-3135](#) to this by-law;
- ~~.4 separation between buildings within the group of buildings shall be as shown on [Schedule C Figure 1-3135](#) to this by-law;~~
- ~~.5.4~~ a single-family attached unit shall have a minimum gross floor area of 83.6 square metres;
- ~~.6.5~~ the buildings shall be located as shown on [Schedule C Figure 1-3135](#) to this by-law and the aggregate building areas shall not exceed 30 percent of the lot area;
- ~~.7.6~~ no single-family attached dwelling shall exceed two storeys in height;
- ~~.8.7~~ off-street parking facilities shall be provided for each dwelling unit located within Building J on the basis of 1.33 parking spaces per dwelling unit; and,
- ~~.9.8~~ off-street parking facilities shall be provided for each dwelling unit located within Buildings A, B, C, D, E, F, G, H, and I on the basis of:
 - .a 2 parking spaces per dwelling unit, one of which shall be provided within the unit and one in the driveway to the dwelling unit; and,
 - .b 1 parking space for each 5 dwelling units for visitors and/or guest parking, and the aforesaid parking facilities shall be signed accordingly and shall be located as shown on [Schedule C Figure 1-3135](#) to this by-law.

12.3135.3 for the purposes of ~~section Exception~~ 3135.:

- .1 Landscaped Open Space means an open space at ground level on a lot which is used for the development, growth, maintenance and preservation of grass, flowers, trees, shrubs, and other forms of aesthetic or decorative landscaping, including surfaced walkways, patios, recreational facilities of similar amenities, but excluding any driveway, ramp, car parking or loading area, curb, retaining wall or any covered space beneath or within any building or structure.

.2 Single-Family Attached Dwelling means a building divided vertically into 3 or more single detached dwelling units by common walls and with private front and rear access to each unit.

Figure 1



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12.3139 Exception 3139

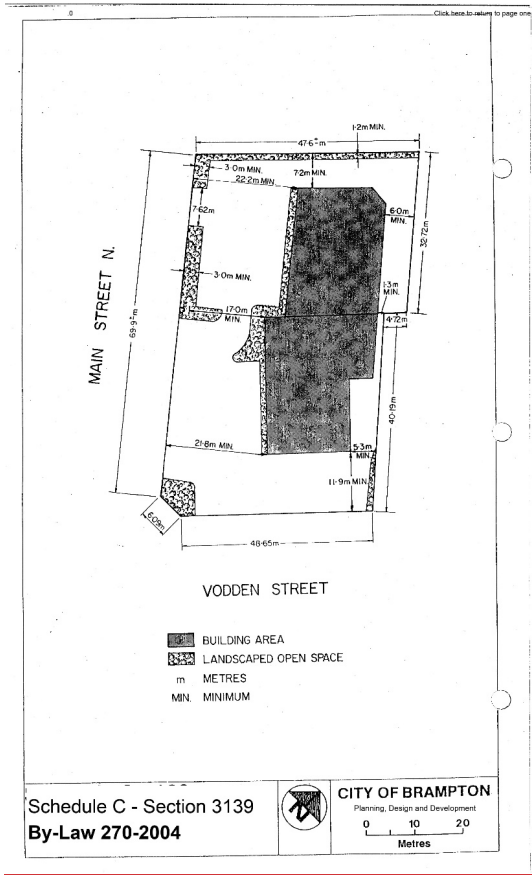
12.3139.1 The lands shall only be used for the following purposes:

- .1 a dry cleaning and laundry establishment, using non-toxic, non-flammable materials only; and,
- .2 the purposes permitted in a **C1-1C** zone with the exception of:
 - .a a religious institution including an associated place of public assembly; and,
 - .b a dining room restaurant, and a convenience restaurant.

12.3139.2 The lands shall be subject to the following requirements and restrictions:

- .1 all buildings shall be located within the areas shown as BUILDING AREA on **SCHEDULE C FIGURE 1 - SECTION 3139**;
- .2 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **SCHEDULE C FIGURE 1 - SECTION 3139**;
- .3 the Gross Commercial Floor Area of all buildings shall not exceed 1057 square metres;
- .4 the Maximum Height of all structures shall not exceed 1 storey;
- .5 parking shall be provided in accordance with section 20 of this by-law;
- .6 all garbage and refuse containers shall be enclosed, with the exception of a roof;
- .7 garbage and refuse containers for a restaurant shall be located within a climate controlled area within the building;
- .8 an adult entertainment parlour shall not be permitted; and,
- .9 no outside storage or display of goods shall be permitted

Figure 1



Exception Zones

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12.3143 Exception 3143

12.3143.1 The lands shall only be used for the following purposes:

- .1 service stores, including not more than one of each of the following: barber, beauty parlour or hairdressing establishment, dry cleaning collection depot or dry cleaning plant (where synthetic cleaning only is carried on), laundromat, shoe repair shop, florist, tailor or dressmaker;
- .2 one bank or financial institution;
- .3 business or profession offices, each not exceeding a gross floor area of one hundred and fifty (150) square metres;
- .4 one medical and one dental office, each not exceeding a gross floor area of one hundred and fifty (150) square metres;
- .5 one dining room restaurant;
- .6 not more than two convenience restaurants;
- .7 not more than one of each of the following;
 - .a drugstore and/or optical store;
 - .b food store and/or convenience store and/or pop shop;
 - .c bake shop and/or donut shop;
 - .d delicatessen and/or meat and/or fish store;
 - .e fruit or vegetable store;
 - .f variety, tobacco and gift shop;
 - .g jewellery shop;
 - .h hobby shop and/or pet shop;
 - .i bookstore;
 - .j hardware store;
 - .k paint and wallpaper store;
 - .l floor and tile store;
 - .m music store;
 - .n camera and photo supplies store;
 - .o sporting goods store;
 - .p radio and television sales and service store;

- .q clothing store and/or shoe store; and,
- .r day nursery.

12.3143.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Gross Floor Area of all buildings and structures shall not exceed 25 percent of the area of the lot;
- .2 all building and structures shall be located within the area shown as Commercial Building Area on ~~Schedule C~~Figure 1-3143;
- .3 Vehicular Access and Egress from the said lands shall be as shown on ~~Schedule C~~Figure 1-3143;
- .4 Landscaped Open Space of a minimum of twenty percent (20%) of the area of the lot shall be provided and maintained;
- .5 off-street parking, at the rate of 59.2 spaces for each 1,000 square metres of the net floor area of all buildings and structures shall be provided and maintained on the lot;
- .6 a garbage and refuse collection area with pick-up facilities shall be provided on the lot within the area shown as the Commercial Building Area on ~~Schedule C~~Figure 1-3143;
- .7 a day nursery shall be located only within the area shown as DAY NURSERY BUILDING AREA on ~~SCHEDULE C~~Figure 1-3143; and,
- .8 no building or structure shall have more than one storey.

~~Chapter 2:~~



12.3144 Exception 3144

12.3144.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the ~~R1D-R1M~~, R1A zone.

12.3144.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Interior Lot: 275 square metres; and,
 - .b Corner Lot: 370 square metres.
- .2 Minimum Front Yard Depth:
 - .a 5.2 metres, where the lot depth is less than 33 metres; and,
 - .b 6 metres, where the lot depth is 33 metres or greater.

12.3145 Exception 3145

12.3145.1 The lands shall only be used for the following purposes:

- .1 a beauty salon or barber shop;
- .2 a dwelling unit, to be occupied by not more than one person; and,
- .3 purposes accessory to the other permitted purposes

12.3145.2 The lands shall be subject to the following requirements and restrictions:

- .1 minimum front, rear and side yard depths and widths shall be provided as shown on ~~Schedule C~~Figure 1-3145 to this by-law;
- .2 Maximum Building Height: 5.18 metres;
- .3 all buildings, including the accessory building, shall be located within the Building Area as shown on ~~Schedule C~~Figure 1-3145 to this by-law;
- .4 a minimum of 6 parking spaces shall be provided and located in the Customer Parking Area as shown on ~~Schedule C~~Figure 1-3145 to this by-law; and,
- .5 a minimum of 3 parking spaces shall also be provided on the site outside the Customer Parking Area.



12.3146 Exception 3146

12.3146.1 The lands shall only be used for the following purposes:

- .1 purposes permitted in the ~~R1D~~R1M, R1A; and,
- .2 walkways.

12.3146.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 216 square metres;
- .2 Minimum Lot Depth: 24 metres;
- .3 a garage or carport shall not be closer than 6 metres to the front lot line;
- .4 Minimum Front Yard Depth: 4.6 metres;
- .5 a side yard, other than a side yard abutting a street or a walkway owned by a public authority, may be reduced to between zero metre to one metre or less in width provided that:
 - .a the building with such a reduced side yard shall be a minimum of 1.5 metres from any other building; and,
 - .b the wall of any building facing such a reduced side yard shall contain no openings other than windows for bathrooms on the first or second storey;
- .6 Minimum Exterior Side Yard Width: 3 metres;
- .7 the width of a side yard flanking a walkway owned by a public authority shall not be less than 1.5 metres;
- .8 Minimum Rear Yard Depth: 6 metres;
- .9 where side lot lines are not parallel but converge towards the front lot line, the lot width shall be the straight line distance between points on the side lot lines measured on a line 7.6 metres back from the front lot line;
- .10 the building area shall not occupy more than 45 percent of the lot area; and,
- .11 no building shall exceed a building height of 7.6 metres.

12.3147 Exception 3147

12.3147.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the ~~R3B-R2~~ zone.

12.3147.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 180 square metres;
- .2 Minimum Exterior Lot Width: 8 metres;
- .3 Minimum Front Yard Depth: 6 metres;
- .4 Minimum Exterior Side Yard Width: 1.8 metres;
- .5 the width of an exterior side yard flanking Kennedy Road South shall not be less than 6 metres;
and,
- .6 Maximum Building Height: 7.6 metres

12.3148 Exception 3148

12.3148.1 The lands shall only be used for the following purposes:

- .1 the lands designated as Parcel A on [Schedule C Figure 1-3148](#) to this by-law shall only be used for an apartment dwelling containing no more than 270 dwelling units and having a maximum height of 20 storeys;
- .2 the lands designated as Parcel B on [Schedule C Figure 1-3148](#) to this by-law shall only be used for an apartment dwelling containing no more than 285 dwelling units and having a maximum height of 21 storeys;
- .3 the lands designated as Parcel C on [Schedule C Figure 1-3148](#) to this by-law shall only be used for an apartment dwelling containing no more than 270 dwelling units and having a maximum height of 20 storeys;
- .4 the lands designated as Parcel D on [Schedule C Figure 1-3148](#) to this by-law shall only be used for an apartment dwelling containing no more than 285 dwelling units and having a maximum height of 21 storeys;
- .5 the lands designated as Parcel E on [Schedule C Figure 1-3148](#) to this by-law shall only be used for a recreational centre building and associated facilities. The recreational centre building may also contain a Commercial Area in the north-east corner of the building with a gross commercial floor area not to exceed 290 square metres;
- .6 the lands designated as Parcel F on [Schedule C Figure 1-3148](#) to this by-law shall only be used for the following purposes:
 - .a a public park;
 - .b a recreation centre;
 - .c a day-care centre;
 - .d a public library; or,
 - .e purposes accessory to the other permitted purposes.

12.3148.2 The lands shall be subject to the following requirements and restrictions:

- .1 Dwelling Units:
 - .a none of the apartment dwellings shall contain a dwelling unit with more than 3 bedrooms;
 - .b the total number of 3 bedroom dwelling units in any one apartment dwelling shall not exceed 2; and,
 - .c no more than 45 percent of the total number of dwelling units in any one apartment dwelling shall be 2 bedroom dwelling units.

.2 Setbacks:

- .a the minimum setbacks from parcel boundaries for all parts of each apartment dwelling that are above grade, excluding the parking structure, balconies, the elevator motor rooms, tank rooms and similar service facilities, shall be as shown on **Schedule C Figure 1-3148** to this by-law;
- .b the minimum distance between the apartment dwellings on parcels A, B, C, and D shall be as shown **on Schedule C Figure 1-3148** to this by-law; and,
- .c the parking structure for each apartment dwelling shall be constructed within the parking structure limits and with the minimum setbacks shown on **Schedule C Figure 1-3148** to this by-law for each parcel.

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.3 Parking:

- .a parking spaces shall be provided for each apartment dwelling, within the parking structure for that apartment dwelling; at the rate of 1.25 parking space for each dwelling unit contained in that apartment dwelling;
- .b a maximum of 6 percent of the total number of parking spaces required for each apartment dwelling may be tandem parking spaces;
- .c on each of Parcel A, B, C, and D, there shall be provided, either within the apartment dwelling's parking structure or on the grounds within the parcel boundaries for that apartment dwelling, surface level parking spaces for visitors at the rate of 1 parking space for every four dwelling units contained within that apartment dwelling;
- .d all areas containing parking spaces for visitors shall be designated by signs stating "Visitors' Parking Only"; and,
- .e parking for employees for the Commercial Area shall consist of a minimum of 3 spaces in the location shown on **Schedule C Figure 1-3148**. In addition, a single loading space for the commercial area shall be provided in the location shown on **Schedule C Figure 1-3148**. The area containing employee parking spaces and a loading space for the Commercial Area shall be designated by signs stating "Employee Parking/Loading Space Only".

.4 Landscaped Open Space:

- .a at least 50 percent of the area of each of Parcel A, Parcel B, Parcel C and Parcel D shall be occupied by landscaped open space; and,
- .b at least 65 percent of the total area of all land included in Parcels A, B, C, D, and E shall be occupied by landscaped open space, recreational facilities and areas.

.5 Vehicular Access:

- .a vehicular access to the lands shown outlined on **Schedule C Figure 1-148** to this by law shall be limited to the entrances and driveways located as shown on **Schedule C Figure 1-3148** to this by-law.

.6 Garbage Collection and Storage:

Exception Zones

- .a all areas reserved for the collection of garbage and for the storage of garbage collection devices shall be completely screened from view;
- .b there shall be no incineration of garbage or refuse on the lands to which this by-law applies, or in any of the buildings thereon;
- .c garbage and refuse shall be stored within each apartment dwelling in temperature-controlled areas, and garbage compactors shall be used; and,
- .d garbage and refuse generated from the Commercial Area shall be stored entirely within the Commercial Area in a temperature controlled enclosure.

.7 Recreational Facilities:

- .a the recreational centre building on Parcel E shall be constructed and completed at the same time as the first apartment dwelling to be built on any of the other parcels;
- .b within the recreation centre dwelling on Parcel E, at least the following facilities, with all necessary equipment and furniture, shall be provided:
 - .i a swimming pool with a water surface area of at least 210 square metres;
 - .ii two regulation size squash courts and one handball court;
 - .iii gymnasium or exercise room with a floor area of at least 60 square metres;
 - .iv a lounge or meeting room; and,
 - .v two saunas.
- .c upon the lands designated as Parcel E, the following facilities shall be constructed and completed, and thereafter maintained, at the same time as the first apartment dwelling to be built on any of the other parcels:
 - .i a children's outdoor play area with a minimum area of 300 square metres;
 - .ii at least four tennis courts, of which at least two must be floodlit; and,
 - .iii an outdoor wading pool with a water surface area of at least 95 square metres.
- .d a sheltered and enclosed pedestrian walkway, from each of the apartment dwellings to the recreational centre building on Parcel E, shall be provided;
- .e a children's outdoor play area with a minimum area of 95 square metres shall be provided and maintained at the rear of each of the apartment dwellings; and,
- .f a lounge, a hobby room, a children's play room and a meeting room, with a total floor area of least (150) square metres shall be provided within each of the apartment dwellings.

.8 Commercial Area:

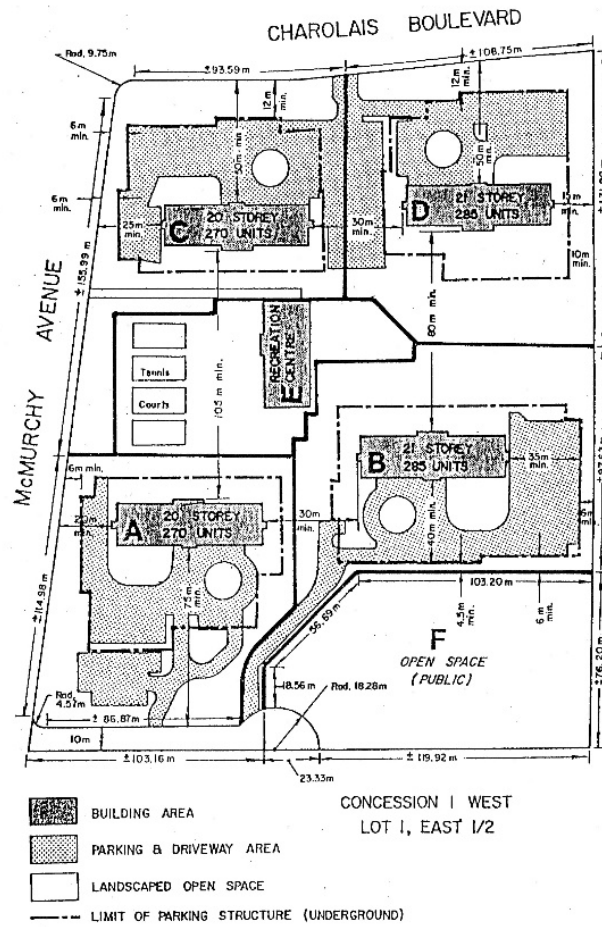
- .a the commercial area in the recreational centre building on Parcel E, **Schedule C Figure 1-3148**, shall not exceed 290 square metres, and shall only be used for the following purposes:

- .i a convenience store having no external display and outside storage;
- .ii a beauty salon; and,
- .iii a dry cleaning and laundry distribution station.

12.3148.3 for the purposes of ~~section~~Exception 3148:

- .1 Commercial Area shall mean that portion of the recreational centre building containing commercial purposes which are to be used solely and exclusively by occupants of Parcels A, B, C, and D through a method of controlled access.
- .2 Parking Space shall mean an area of not less than seventeen square metres and a width of not less than 2.9 metres which is readily accessible at all times for the parking and removal of a motor vehicle without the necessity of moving any other motor vehicle.
- .3 Setback shall mean the minimum distance measured at right angles between a lot line and the nearest main wall of any buildings or structure.
- .4 Storey shall mean that portion of a building other than a cellar or basement, between the surface of any floor and the surface of the floor next above it, if there be no floor above it, that portion between the surface of such floor and the ceiling above it.
- .5 Tandem Parking Space shall mean an area of not less than seventeen (17) square metres and a width of not less than 2.9 metres which is not readily accessible at all times and it may be necessary to move another motor vehicle for the parking and removal of a motor vehicle on this space.
- .6 For the purposes of this ~~section~~Exception, floors accommodating mechanical and parking facilities for an apartment dwelling shall not be counted in determining the number of storeys of each apartment dwelling.

Figure 1



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12.3149 Exception 3149

12.3149.1 The lands shall only be used for the following purposes:

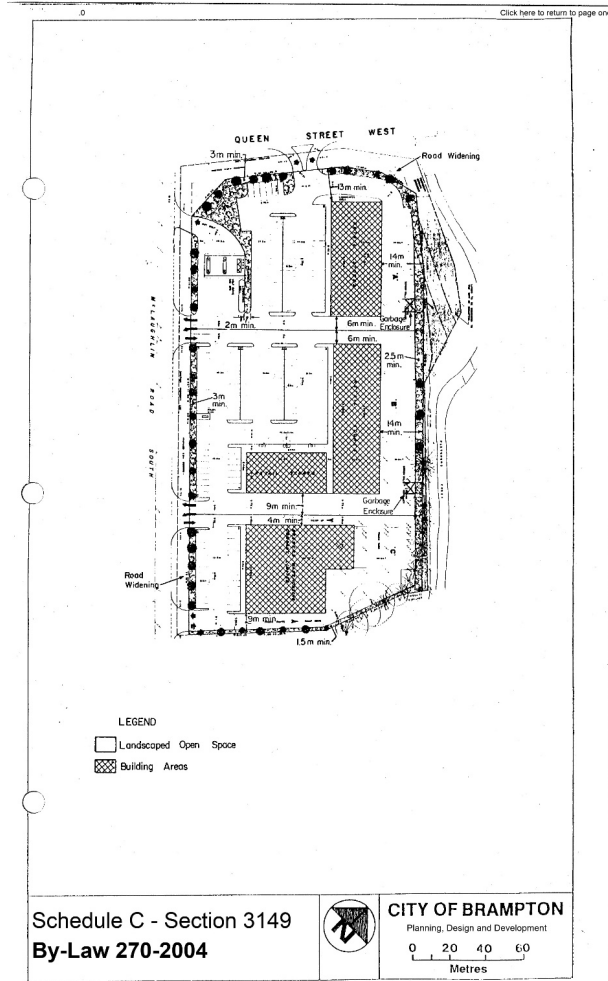
- .1 purposes permitted in a SC-1C zone;
- .2 only in connection with an establishment retailing alcoholic beverages, a warehouse operation for alcoholic beverages;
- .3 a gas bar; and,
- .4 purposes accessory to the other permitted purposes.

12.3149.2 The lands shall be subject to the following requirements and restrictions:

- .1 all main buildings shall be located within the areas shown as Building Areas on Schedule C Figure 1-3149 to this by-law;
- .2 on-site landscaped open space shall be provided and maintained in the location shown on Schedule C Figure 1-3149 to this by-law;
- .3 all waste disposal facilities shall be located in enclosed areas or within the areas shown as Building Areas on Schedule C Figure 1-3149 to this by-law, except that waste disposal facilities for restaurants and food-related uses shall be located within the main buildings in a climate controlled area;
- .4 the height of any building shall not exceed 6.1 metres; and,
- .5 all gasoline pump islands and related canopies shall be located a minimum of 6 metres from any street lines, and a minimum of 7.5 metres from the boundary of any residential properties.

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12.3158 Exception 3158

12.3158.1 The lands shall only be used for the following purposes:

- .1 the manufacturing and assembling of motor vehicles;
- .2 the purposes permitted in the **M1 PGE zone**; and,
- .3 purposes accessory to the other permitted purposes.

12.3158.2 The lands shall be subject to the following requirements and restrictions:

- .1 parking spaces are required to be provided and maintained in accordance with the following:
 - .a manufacturing, cleaning, packaging, processing, repairing, assembling, or printing operation - 1 parking space for each 93 square metres of gross floor area devoted to the industrial use, plus 1 parking space for each 31 square metres of gross floor area devoted to accessory office, retail or educational uses.
- .2 no loading spaces shall be required; and,
- .3 No outside storage shall be permitted within 50 metres of public street, except in conjunction with a permitted seasonal outdoor garden centre associated with a retail warehouse.

12.3159 Exception 3159

12.3159.1 The lands shall only be used for the following purposes:

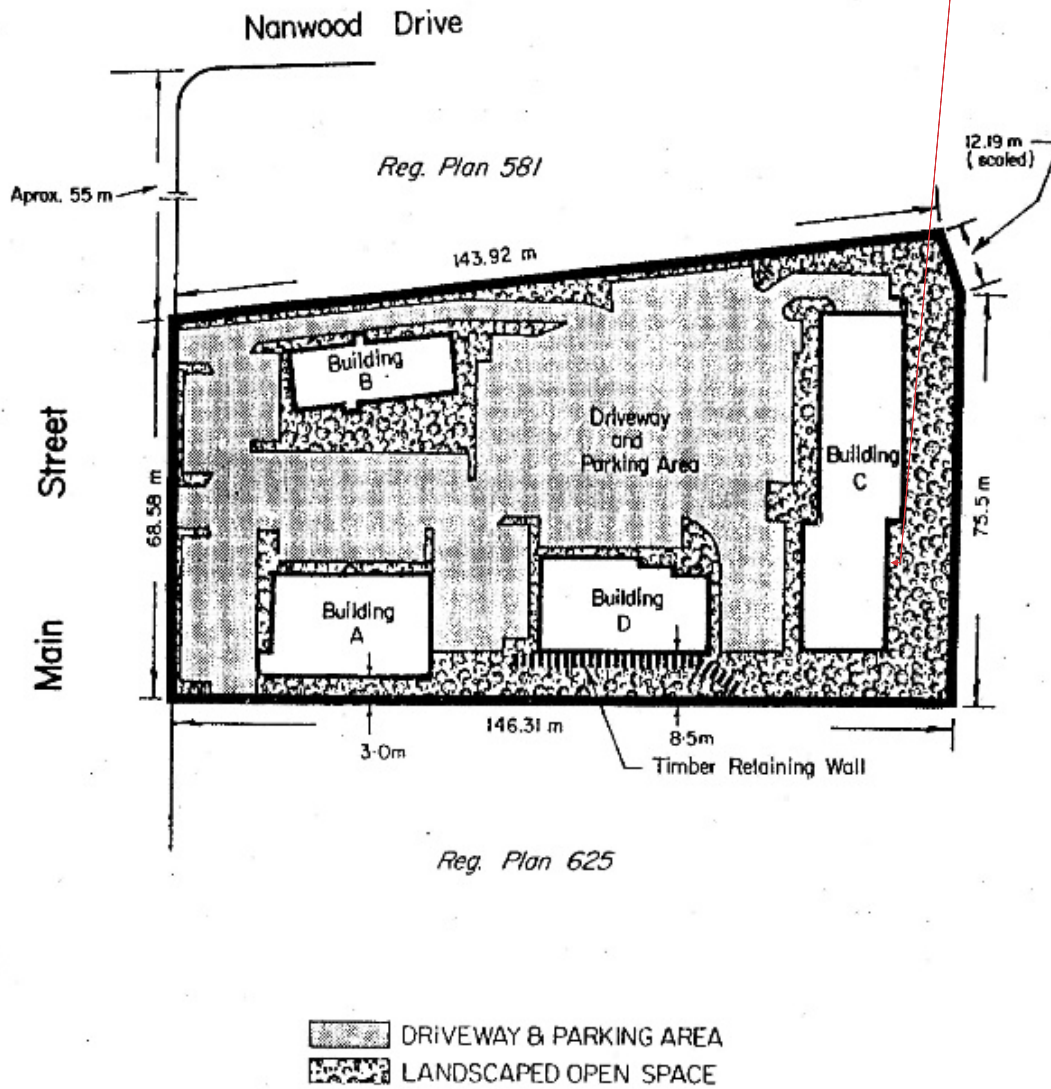
- .1 Building A and Building B:
 - .a a retail establishment having no outside storage, display or sale of goods or materials;
 - .b an office, permitting no more than one doctor, or one dentist or one drugless practitioner;
 - .c a service shop;
 - .d a personal service shop;
 - .e a bank, trust company, finance company;
 - .f a dry cleaning and laundry distribution station;
 - .g a laundromat;
 - .h a dining room restaurant, a take-out restaurant, or convenience restaurant;
 - .i a printing or copying establishment;
 - .j community club or a place for a fraternal organization;
 - .k health centre;
 - .l custom workshop; and,
 - .m tavern.
- .2 Building C and Building D:
 - .a a retail establishment having no outside storage, display or sale of goods or materials;
 - .b an office permitting no more than one doctor, or one dentist or one drugless practitioner;
 - .c a service shop;
 - .d a personal service shop;
 - .e a bank, trust company, finance company;
 - .f a dry cleaning and laundry distribution station;
 - .g a laundromat;
 - .h a printing or copying establishment;
 - .i a community club or a place for a fraternal organization;
 - .j health centre;
 - .k a custom workshop; and,

.l a tavern.

12.3159.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1.00 hectare
- .2 Minimum Lot Width: 65 metres
- .3 Minimum Lot Depth: 140 metres
- .4 Minimum Interior Side Yard Width along the south property boundary shall be as shown on ~~Schedule C~~Figure 1-Section 3159;
- .5 "Building A" and "Building B" shall have a maximum total gross commercial floor area of 1020 square metres;
- .6 "Building C" and "Building D" shall have a maximum total gross commercial floor area of 1625 square metres;
- .7 a minimum of 139 parking spaces shall be provided and maintained in the area shown as DRIVEWAY AND PARKING AREA on ~~Schedule C~~Figure 1 - Section 3159;
- .8 the Maximum Height of all buildings and structures shall not exceed 1 storey, and
- .9 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on ~~Schedule C~~Figure 1 - Section 3159.

Figure 1



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12.3161 Exception 3161

12.3161.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in the C2-GC zone to this by-law, except for an amusement arcade; and,
- .2 movie theatres

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12.3161.2 The lands shall be subject to the following requirements and restrictions:

- .1 movie theatres shall only be permitted up to an aggregate maximum of 3 screens and 780 seats;
- .2 a maximum height limit of 8 storeys;
- .3 front yard; minimum 3 metres, maximum 8 metres

12.3164 Exception 3164

12.3164.1 The lands shall only be used for the following purposes:

- .1 a public school;
- .2 a public recreation facility; and,
- .3 the purposes permitted in an ~~RH~~ ~~RE1~~ zone of this by-law

12.3164.2 The lands shall be subject to the following requirements and restrictions:

- .1 for a public school and a public recreation facility, the requirements and restrictions relating to the I1 zone shall apply; and,
- .2 for the purposes permitted by ~~section Exception 12.3164.1.3~~, the requirements and restrictions relating to the RH zone shall apply.

12.3165 Exception 3165

12.3165.1 The lands shall only be used for the following purposes:

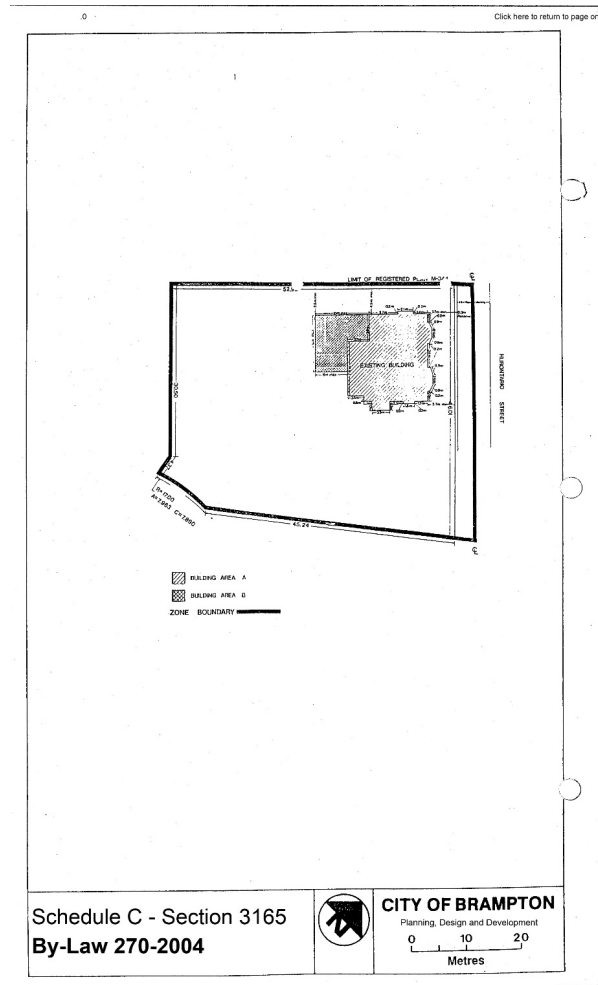
- .1 a dining room restaurant;
- .2 a single detached dwelling; and,
- .3 purposes accessory to the other permitted purposes.

12.3165.2 The lands shall be subject to the following requirements and restrictions:

- .1 not more than one dining room restaurant and one single detached dwelling unit shall be permitted;
- .2 all buildings shall be located within Building A and B as shown on **Schedule C Figure 1-3165** to this by-law;
- .3 no building within Building Area A, as shown on **Schedule C Figure 1-3165** to this by-law, shall be more than two and a half storeys in height;
- .4 no building within Building Area B, as shown on **Schedule C Figure 1-3165** to this by-law, shall be more than one storey in height;
- .5 Minimum Lot Width: 40 metres;
- .6 Minimum Lot Depth: 48 metres;
- .7 all waste disposal facilities shall be located indoors and within Building Areas A and B, as shown on **Schedule C Figure 1-3165** to this by-law;
- .8 Minimum Parking Requirements:
 - .a for a dining room restaurant: at least one parking space for every 10 square metres of gross commercial floor area;
 - .b for a single detached dwelling unit: at least two parking spaces; and,
- .9 Accessory Buildings are not permitted.

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Figure 1



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12.3166 Exception 3166

12.3166.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R1B-R1M~~, R1A zone of this by-law;

12.3166.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth:
 - .a to main wall of a building: 3 metres; and
 - .b to front garage or carport: 6 metres.

12.3167 Exception 3167

12.3167.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **R1C-R1M, R1A** zone of this by-law;

12.3167.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth:
 - .a to main wall of building: 3 metres; and,
 - .b to front of garage or carport: 6 metres.
- .2 Minimum Interior Side Yard Width: the minimum width of a side yard abutting a public park or walkway, or a lot on Registered Plan 605, shall be 1.2 metres for the first storey or part thereof, plus 0.6 metres for each additional storey or part thereof.

12.3169 Exception 3169

12.3169.1 The lands shall only be used for the following purposes:

- .1 Parcels 1, 2, and 3, as shown on [Schedule C Figure 1-3169](#):
 - .a one single detached dwelling; and,
 - .b purposes accessory to the other permitted purpose.
- .2 Parcel 4, as shown on [Schedule C Figure 1-3169](#):
 - .a one multiple residential dwelling containing not more than four dwelling units; and,
 - .b purposes other than a swimming pool which are accessory to the other permitted purposes.

12.3169.2 The lands shall be subject to the following requirements and restrictions:

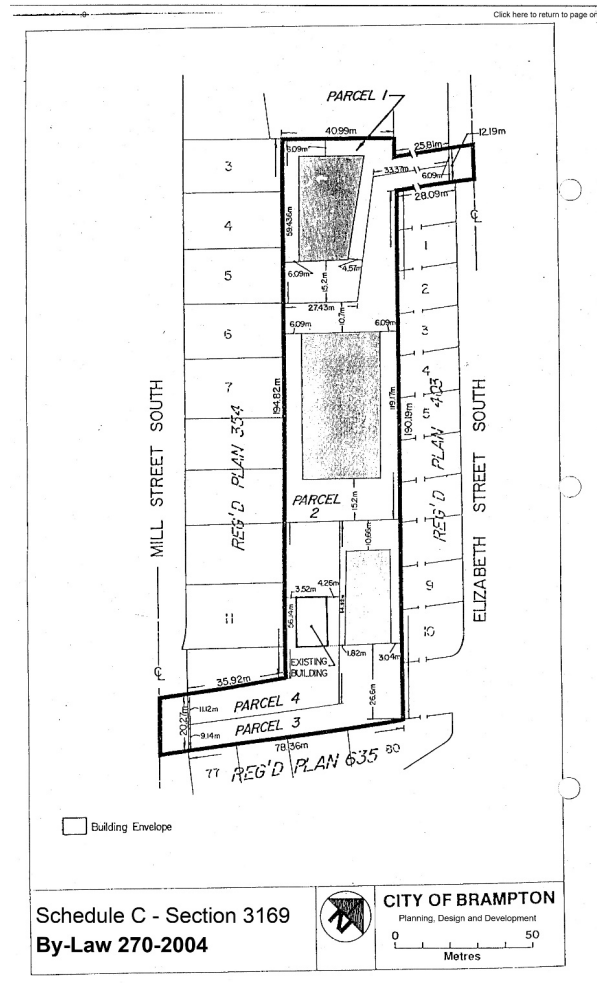
- .1 Minimum Lot Area:
 - .a Parcel 1: 2020 square metres
 - .b Parcel 2: 4040 square metres
 - .c Parcel 3: 1940 square metres
 - .d Parcel 4: 1640 square metres
- .2 Minimum Lot Width and Depth shall be as shown on [Schedule C Figure 1-3169](#) to this by-law.
- .3 minimum front yard depth, side yard width and rear yard depth shall be as shown on [Schedule C Figure 1-3169](#) to this by-law.
- .4 Building Requirements:
 - .a all dwellings and accessory buildings shall be located within the Building Envelopes as shown on [Schedule C Figure 1-3169](#) to this by-law;
 - .b Maximum Height of dwelling: 8 metres;
 - .c Maximum Number of Storeys for dwelling: 2 storeys;
 - .d Maximum Height of accessory building: 4.6 metres;
 - .e Gross Floor Area for each single detached dwelling unit shall be not less than 100 square metres; and,
 - .f Gross Floor Area of an accessory building shall not exceed 10 percent of the lot area.
- .5 Swimming Pools and Related Enclosures:
 - .a a private uncovered or covered swimming pool must be located within the Building Envelope as shown on [Schedule C Figure 1-3169](#) to this by-law; and,

- .b a permanent structure covering a swimming pool shall be considered an accessory building for purposes of this section.

.6 Off-Street Parking:

- .a two parking spaces for each dwelling unit on Parcels 1, 2 and 3 shall be provided within the Building Envelope as shown on **Schedule C Figure 1-3169** to this by-law;
- .b two parking spaces for each dwelling unit shall be provided for the dwelling on Parcel 4;
- .c a motor vehicle or trailer, or a motor vehicle and trailer combination, the vehicle weight of which exceeds 2700 kilograms, may not be parked or stored on any part of this site;
- .d a mobile home, travel trailer, or trailer may be parked or stored on the lands if it is:
 - .i owned by the occupant of the land upon which the vehicle is parked or stored;
 - .ii parked or stored within the Building Envelopes as shown on **Schedule C Figure 1-3169** to this by-law; and,
 - .iii not used for human habitation while parked or stored on the lot.

Figure 1



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12.3170 Exception 3170

12.3170.1 The lands shall only be used for the following purposes:

- .1 a single detached dwelling;
- .2 a dwelling unit accessory to a commercial use;
- .3 a retail establishment having no outside storage; and,
- .4 purposes accessory to the other permitted purposes.

12.3170.2 The lands shall be subject to the following requirements and restrictions:

- .1 the main building shall be located within the area shown as Building Area on **Schedule C Figure 1-3170** to this by-law;
- .2 an accessory building may be located within the area shown as Landscaped Open Space on **Schedule C Figure 1-3170** to this by-law subject to the requirements of **section-Exception 12.3170.2.3**
- .3 an accessory building, structure, detached garage or carport shall:
 - .a not be used for human habitation;
 - .b not exceed 4.5 metres in height, in the case of a peaked roof;
 - .c not exceed 3.5 metres in height, in the case of a flat roof;
 - .d not be located closer than 1 metre to a main building, side lot line or rear lot line;
 - .e not be located in a front yard; and,
 - .f not have a floor area in excess of 22 square metres.
- .4 a fence in the form of a visual screen shall be erected and maintained along the rear lot line with a height of not less than 1.8 metres.
- .5 no Parking space shall be permitted in the front yard; and,
- .6 not less than 4 parking spaces shall be provided.

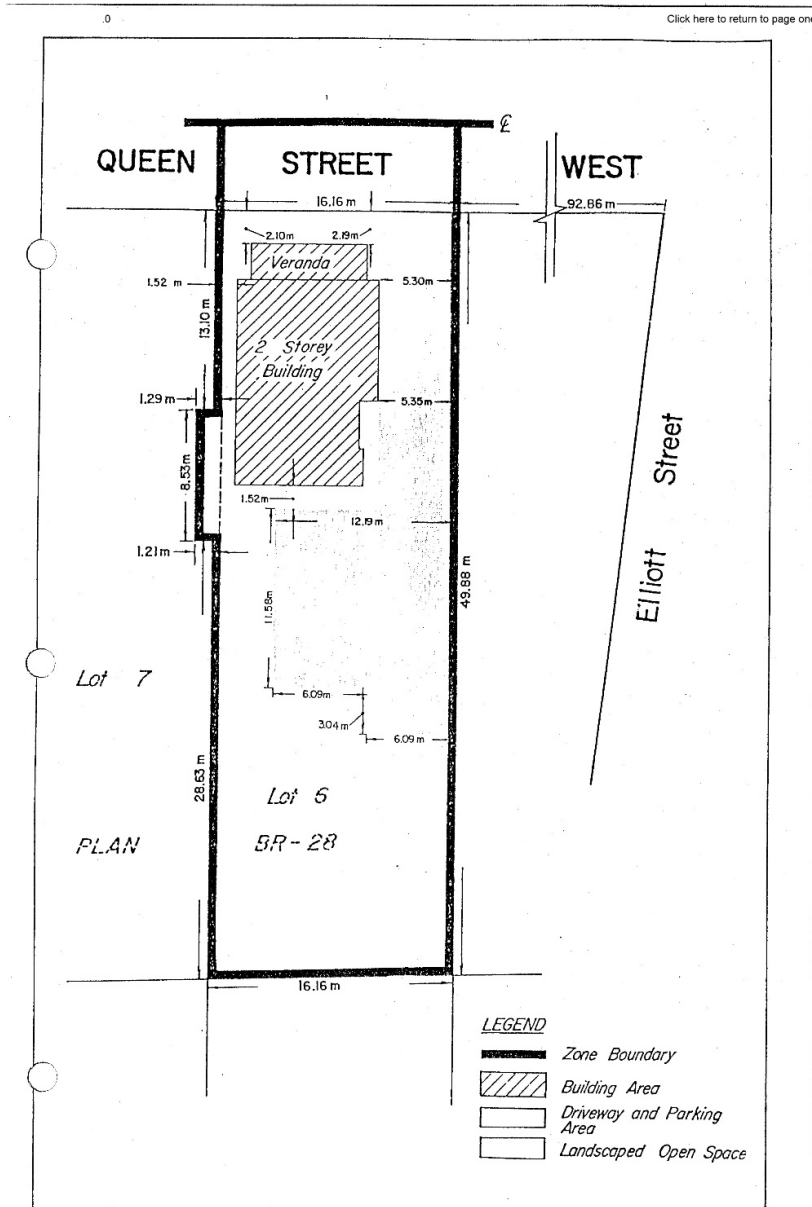
12.3170.3 for the purposes of **section-Exception 3170**:

- .1 shall also be subject to the requirements and restrictions relating to the **R1B** zone not in conflict with the ones set out in **section-Exception 12.3170.2**.
- .2 shall not be subject to provision contained on **Schedules 'B-1', 'B-2', 'B-3' and 'B-4'** of this By-law.

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Figure 1



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12.3171B Exception 3171B

12.3171B.1 The lands shall only be used for the following purposes:

- .1 Self Storage Facility,
- .2 Purposes accessory to the other permitted uses.

12.3171B.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.6 ha;
- .2 Minimum Setback to the lot line abutting Vodden Street East: 6.0 metres;
- .3 Maximum Setback to the lot line abutting Vodden Street East: 20.0 metres;
- .4 Minimum Setback to the Easterly side lot line: 2.5 metres;
- .5 Minimum Setback to the Westerly side lot line: 11.0 metres;
- .6 Maximum Building Height: 20.0 metres (excluding rooftop structures used to house stairways and/or rooftop mechanical equipment);
- .7 Maximum Gross Floor Area: 12,900 square metres;
- .8 Minimum Landscaped Open Space: 13.0% of the lot area, including a minimum 5.0 metre wide landscaped open space strip along the lot line abutting Vodden Street East;
- .9 Parking and Loading Requirements:
 - .a Minimum Required Parking: 21 spaces;
 - .b Minimum Required Loading: 1 space;
- .10 For the purposes of **SectionException C3GC-3171B**, a required loading space may be provided internal to a building, with a minimum vertical clearance of 3.5 metres;
- .11 Hydro transformers and other utilities shall be exempt from the setback requirements of **SectionException C3GC-3171B.23(2), (3), and (4)** and may be located within required landscaped open space.

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12.3171B.3 for the purposes of **section-Exception 3171B**:

- .1 For the purposes of **SectionException GCC3-3171B**, "Self Storage Facility" is defined as a building or part thereof in which individual units or defined spaces are rented, leased, or sold to the general public for the purposes of providing indoor storage spaces for temporary or permanent use."

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12.3172 Exception 3172

12.3172.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **R2C-R1M, R1A** zone of this by-law;

12.3172.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth:
 - .a to a main wall of a building 3 metres; and,
 - .b to front of garage or carport 6 metres.
- .2 Minimum Interior Side Yard Width: for Lots 111, 118 and 119, 127 to 140 (both inclusive), 168, 180 to 185 (both inclusive), 192, 193 and 196 to 202 (both inclusive), on **Registered Plan M-417**, the total width of both side yards on any lot shall not be less than 1.8 metres.

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12.3175 Exception 3175

12.3175.1 The lands shall only be used for the following purposes:

- .1 an office; and,
- .2 the purposes permitted in an **M2-GE** zone of this by-law.

12.3176 Exception 3176

12.3176.1 The lands shall only be used for the following purposes:

- .1 a retail establishment having no outside storage;
- .2 a grocery store;
- .3 a service shop;
- .4 a personal service shop;
- .5 a bank, trust company, finance company
- .6 an office, but including only one of the following:
 - .a an office of a dentist;
 - .b an office of a physician;
 - .c an office of a drugless practitioner
- .7 a dry cleaning and laundry distribution station;
- .8 a laundromat;
- .9 a parking lot;
- .10 a dining room restaurant, a convenience restaurant, or a take-out restaurant; and,
- .11 a health centre or a martial arts centre.

12.3176.2 The lands shall be subject to the following requirements and restrictions:

- .1 minimum front, rear and side yard depths and widths shall be provided as shown on **Schedule C-
Figure 1 3176** to this by-law;
- .2 the Gross Floor Area of the building shall not exceed a maximum of 3235 square metres;
- .3 the height of the building shall not exceed two storeys;
- .4 Landscaped Open Space shall be provided as shown on **Figure 1 Schedule C-3176** to this bylaw;
- .5 an enclosed garbage storage compound shall be provided as shown on **Figure 1 Schedule C-3176** to this by-law;
- .6 a minimum of 89 off-street parking spaces shall be provided; and,
- .7 a minimum of 1 off-street loading space shall be provided.

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12.3177 Exception 3177

12.3177.1 The lands shall only be used for the following purposes:

- .1 a retail establishment having no outside storage;
- .2 a grocery store;
- .3 a service shop;
- .4 a personal service shop;
- .5 a bank, trust company, finance company;
- .6 an office, but not including the office of a dentist, physician, or drugless practitioner;
- .7 a dry cleaning and laundry distribution station;
- .8 a laundromat;
- .9 a health centre or a martial arts centre;
- .10 a parking lot; and,
- .11 purposes accessory to the other permitted purpose

12.3177.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Interior Side Yard Width abutting westerly side lot line: 3 metres;
- .2 Minimum Interior Side Yard Width abutting easterly side lot line: 0 metres;
- .3 Minimum Rear Yard Depth: 0 metres;
- .4 Maximum Height: 1 storey;
- .5 Maximum Gross Commercial Floor Area: 280 metres;
- .6 Parking Spaces are required to be provided and maintained on the lot in accordance with the following provisions:
 - .a bank, trust company, finance company: 1 parking space for each 15 square metres of gross commercial floor area or portion thereof; and,
 - .b all commercial uses other than a bank, trust company or finance company: 1 parking space for each 23 square metres of gross commercial floor area or portion thereof.

12.3178 Exception 3178

12.3178.1 The lands shall only be used for the following purposes:

- .1 a retail establishment having no outside storage;
- .2 an office;
- .3 a personal service shop;
- .4 a printing or copying establishment; and,
- .5 a community club

12.3178.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Building Height: 6 storeys.

12.3178.3 for the purposes of ~~section-Exception~~ 3178:

- .1 shall not be subject to provisions contained on Schedules 'B-1', 'B-2', and 'B-4' of this By-law.

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12.3180 Exception 3180

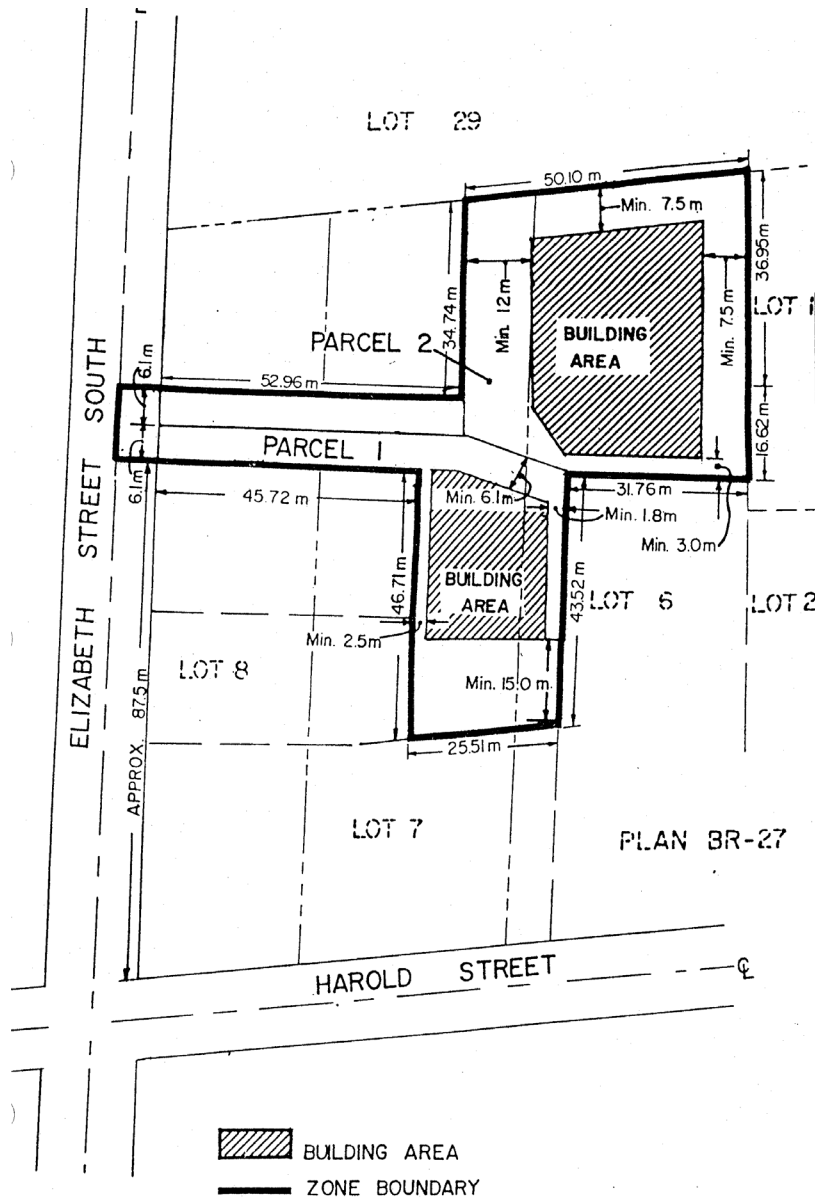
12.3180.1 The lands shall only be used for the following purposes:

- .1 single detached dwellings; and,
- .2 a building or purpose accessory to the other permitted purpose,

12.3180.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for parcel 1: 1520 square metres;
 - .b for parcel 2: 2750 square metres.
- .2 Minimum Lot Width: 6.1 metres;
- .3 Minimum Front Yard Depth, Minimum Rear Yard Depth, and Minimum Side Yard Width - as shown on ~~Schedule C~~ Figure 1-3180;
- .4 Maximum Building Height: 1 ½ storeys; and,
- .5 Minimum Landscaped Open Space: 40 percent of the lot area.

Figure 1



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12.3183 Exception 3183

12.3183.1 The lands shall only be used for the following purposes:

- .1 Commercial:
 - .a offices other than offices for a physician, dentist or drugless practitioner or a real estate office.
- .2 Accessory:
 - .a purposes accessory to the other permitted purpose.

12.3183.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Gross Commercial Floor Area shall not exceed 124 square metres;
- .2 a minimum of 4 parking spaces shall be provided on the lands as shown on **Schedule C Figure 1-3183** to this by-law;
- .3 the width of a driveway leading to any parking area shall be minimum of 3.0 metres;
- .4 Landscaped Open Space shall be provided and maintained in the location identified on **Figure 1Schedule C-3183**; and,
- .5 all buildings and structures shall be located within the area shown as Building Area on **Figure 1Schedule C-3183**.

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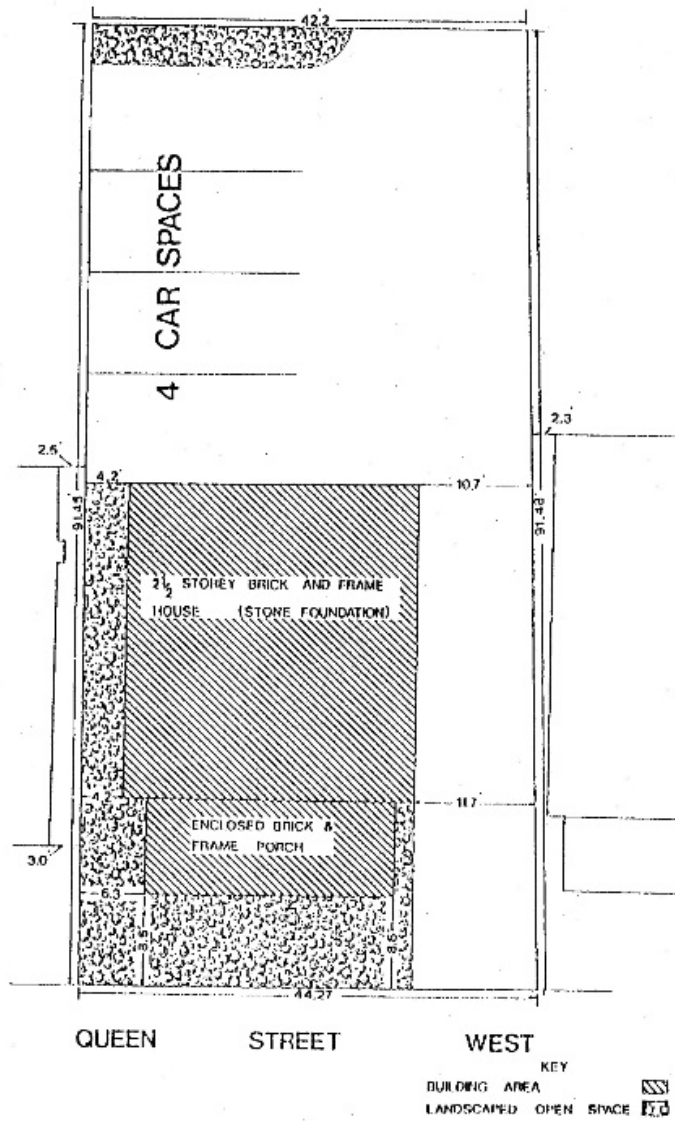
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12.3183.3 for the purposes of **section Exception 3183**:

- .1** shall not be subject to provisions contained on **Schedules 'B-1', 'B-2', 'B-3' and 'B-4'** of this By-law.

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12.3185 Exception 3185

12.3185.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **R1D-R1M, R1A zone** of this by-law.

12.3185.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Side Yard Width: 1.2 metres on one side and 0.9 metres on the other side, provided that where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door will be permitted in any such wall;
- .2 Maximum Building Height: two storeys;
- .3 all garages or carports shall be built of the same exterior material and of the same architectural design as the main building it is to serve;
- .4 a detached private garage or carport as an accessory building may be located in a side or rear yard of a lot in a Residential Zone provided that it is:
 - .a not to exceed 2.5 metres in height, in the case of a flat roof;
 - .b not to exceed 3.7 metres in height, in the case of a peaked roof;
 - .c no closer than 1 metre to a main building;
 - .d no closer than 1 metre to a side lot line or rear lot line, and no closer than 6 metres to a flankage lot line;
 - .e no closer to a street than the required setback for a main building, and in no case shall be closer to the front lot line than 6 metres; and,
 - .f not to have a floor area in excess of 24 square metres.
- .5 a detached private garage or carport may be erected in a rear yard or interior side yard with no setback from the side lot line or the rear lot line provided that:
 - .a it is not to exceed 2.5 metres in the case of a flat roof;
 - .b it is not to exceed 3.7 metres in height, in the case of a peaked roof;
 - .c it does not have a floor area in excess of 24 square metres;
 - .d the garage for two lots abutting said side or rear of line are designed as one building;
 - .e a common wall on and along the said side or rear lot line divides the garages; and,
 - .f the garages for the two lots abutting said side or rear of line are constructed or reconstructed simultaneously.

12.3186 Exception 3186

12.3186.1 The lands shall only be used for the following purposes:

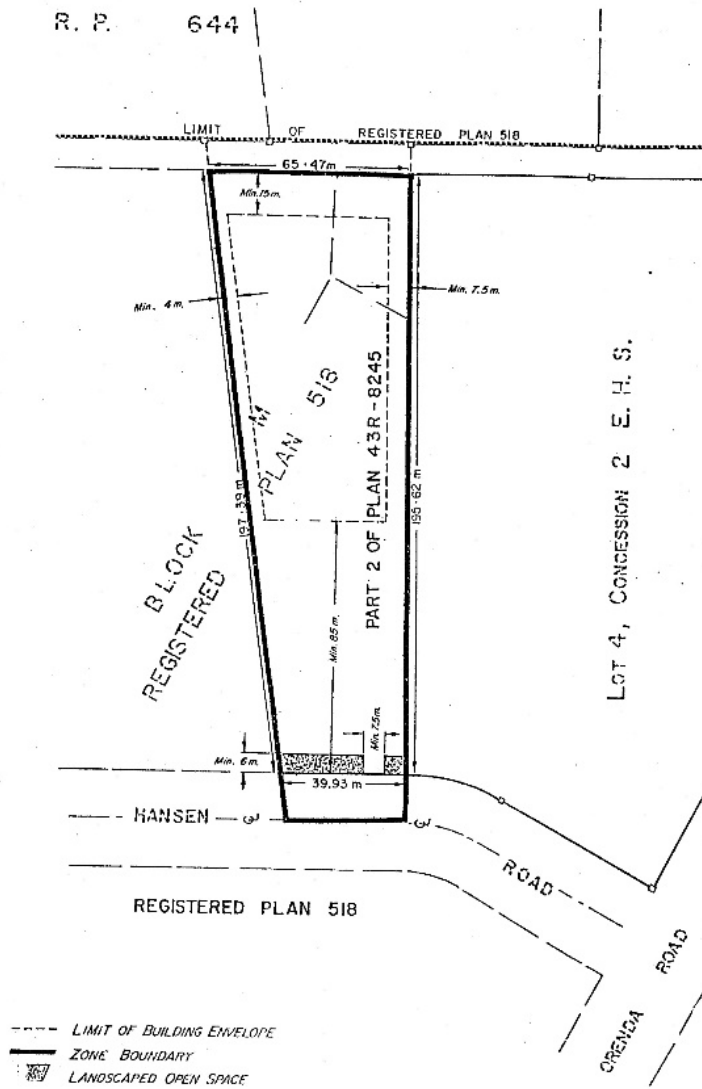
- .1 a racquetball, squash and fitness club; and,
- .2 purposes accessory to a racquetball, squash and fitness club.

12.3186.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 35 metres;
- .2 Minimum Lot Area: 1 hectare;
- .3 the minimum depth or width of front, side and rear yards shall be as shown on **Schedule C Figure 1-3186** to this by-law;
- .4 Maximum Building Height: 10 metres;
- .5 within the building envelope as shown on **Schedule C Figure 1-3186** to this by-law, a building containing no more than a total of 15 racquetball and squash courts, plus 375 square metres of gross commercial floor area for a lounge, shall be permitted;
- .6 a minimum of 100 parking spaces shall be provided;
- .7 a minimum of one loading space shall be provided and shall not be located in the front half of the building;
- .8 Landscaped Open Space with a minimum width of 6 metres shall be provided along the entire front lot line, except where a driveway is located, as shown on **Figure 1 Schedule C-3186** to this by-law;
- .9 a minimum of 20 percent of the front yard shall be landscaped open space; and,
- .10 no waste disposal facility shall be located in the front or side yards.

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12.3188 Exception 3188

12.3188.1 The lands shall only be used for the following purposes:

- .1 sale, service and repair of snowmobiles, boats and accessories;
- .2 offices other than ones for medical, dental, drugless practitioners or real estate purposes; and,
- .3 those purposes permitted by **M2 GE Zone**.

12.3188.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Total Gross Floor Area used for offices shall not exceed 289 square metres.

12.3189 Exception 3189

12.3189.1 The lands shall only be used for the following purposes:

- .1 a motor vehicle leasing establishment;
- .2 a utility trailer leasing establishment;
- .3 a self-storage locker rental establishment; and,
- .4 purposes accessory to the other permitted purposes.

12.3189.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Gross Commercial Floor Area shall not exceed 1860 square metres;
- .2 a minimum of 15 parking spaces shall be provided;
- .3 the width of a driveway leading to any parking area shall be a minimum of 6.0 metres;
- .4 the Maximum Building Height shall not exceed 1 storey;
- .5 Landscaped Open Space shall be provided and maintained in the location identified on **Schedule C Figure 1-3189** to this by-law;
- .6 all buildings and structures shall be located within the areas shown as BUILDING AREAS on **Figure 1 Schedule C-3189** to this by-law; and,
- .7 no parking or storage of motor vehicles and utility trailers shall occur in the areas identified as driveways on **Figure 1 Schedule C-3189** to this by-law.

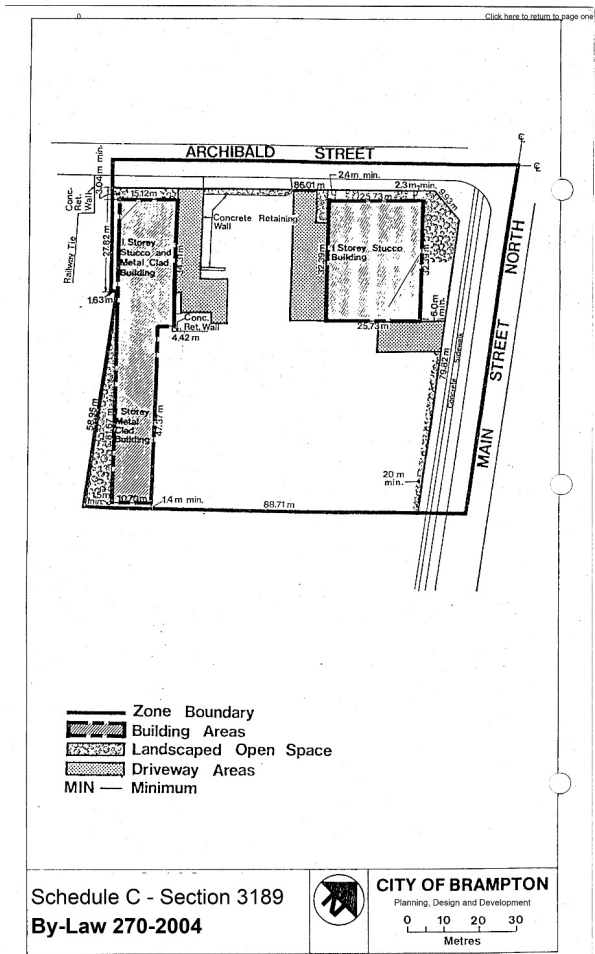
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12.3189.3 for the purposes of ~~section~~ **Exception 3189**:

- .1 Self-Storage Locker Rental Establishment shall mean a building where lockers for the purpose of storage of goods or materials are rented or leased to the general public.

Figure 1



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12.3190 Exception 3190

12.3190.1 The lands shall only be used for the following purposes:

- .1 a single detached dwelling; or,
- .2 a daycare centre, but only as a purpose accessory to a single detached dwelling.

12.3191 Exception 3191

12.3191.1 The lands shall only be used for the following purposes:

- .1 Commercial:
 - .a a book store;
 - .b a flower shop;
 - .c an art supply store;
 - .d an arts and craft shop; or,
 - .e a millinery and accessories retail shop. Residential:
 - .f a dwelling unit; and,
- .2 Accessory:
 - .a purposes accessory to the other permitted purposes.

12.3191.2 The lands shall be subject to the following requirements and restrictions:

- .1 if any part of the building is used for residential purposes, the minimum gross residential floor area of the dwelling unit shall be 70 square metres;
- .2 a minimum of 6 parking spaces shall be provided in the locations shown on Schedule C Figure 1-Section Exception 3191;
- .3 the width of a driveway leading to any parking area shall be a minimum of 3.0 metres;
- .4 the Maximum Building Height shall not exceed 2 storeys;
- .5 Landscaped Open Space shall be provided and maintained in the locations shown on Figure 1-Exception Schedule C—Section 3191, and the landscaped open space in the rear yard shall have a minimum depth of 6.0 metres; and,
- .6 all buildings and structures shall be located within the area shown as Building Area on Figure 1-Exception Schedule C—Section 3191.

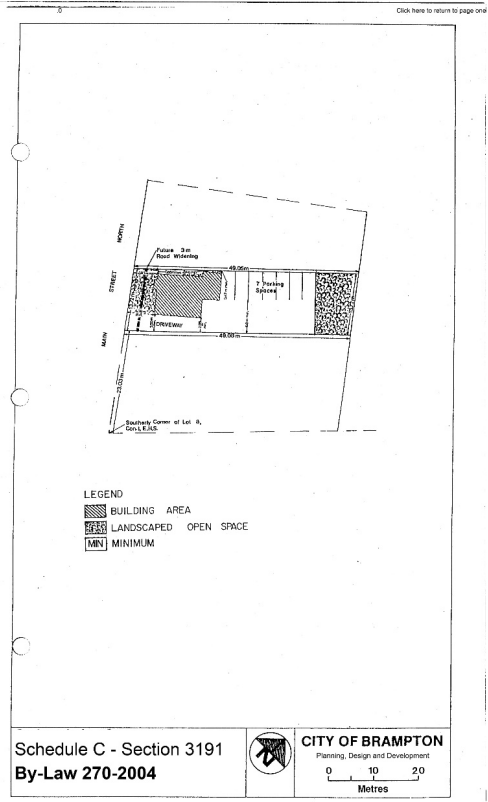
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12.3191.3 for the purposes of section-Exception 3191:

- .1 Retail Shop, Millinery and Accessories shall mean a building or place where women's clothing and specialty items such as hats, scarves, belts and gloves are sold or kept for sale to the general public.

Figure 1



Exception Zones

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12.3192 Exception 3192

12.3192.1 The lands shall only be used for the following purposes:

- .1 townhouse dwellings;
- .2 public open space; and,
- .3 purposes accessory to the other permitted purposes.

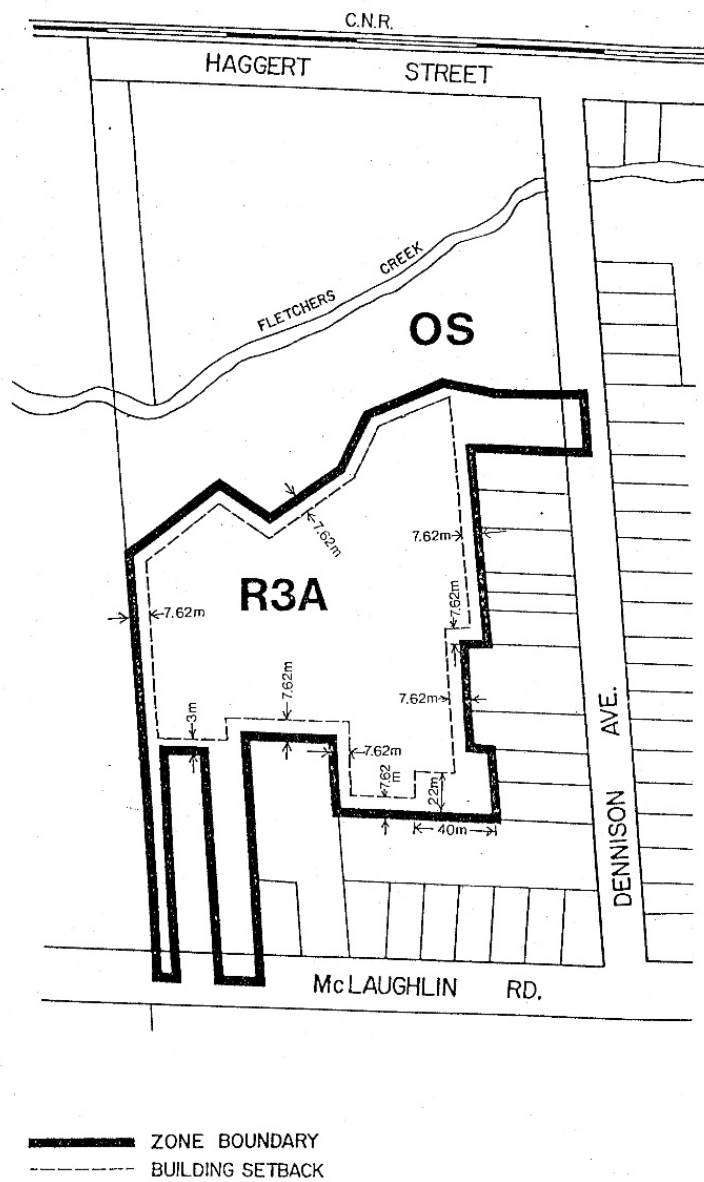
12.3192.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 24 metres;
- .2 the Minimum Lot Line Setback for all buildings shall be as shown on **Schedule C Figure 1- 3192** to this by-law;
- .3 Minimum Distance between buildings:
 - .a a minimum of 3 metres shall be provided between two exterior walls, if one or none contains a window to a habitable room; and,
 - .b a minimum of 18 metres shall be provided between two exterior walls, if both contain a window to a habitable room.
- .4 Maximum Building Height: 7.5 metres;
- .5 Parking Spaces:
 - .a a minimum of two spaces per unit shall be provided, one of which must be located in an attached carport or garage;
 - .b visitors' parking spaces shall be provided and marked for the use of visitors; and,
 - .c the required number of visitors' parking spaces shall be not less than 25% of the number of total dwelling units.
- .6 an accessory building shall be permitted if it is not used for human habitation, does not exceed 4.5 metres in height, and does not have a floor area in excess of 30 square metres; and,
- .7 a swimming pool shall be permitted if it is not located closer than 1.2 metres to any lot line, and is not located closer than 1.2 metres to any lot line, and is not located any closer than 18 metres to any front lot line.

12.3192.3 for the purposes of ~~section-Exception~~ 3192:

- .1 shall also be subject to the requirements and restrictions relating to the ~~R3A-R2~~ zone which are not in conflict with the ones set out in **Exceptionsection 12.3192.2**

Figure 1



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12.3195 Exception 3195

12.3195.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **RID-RIM zone**;

12.3195.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 7.6 metres, provided that minimum distance to front of garage may be 7 metres;
- .2 Minimum Interior Side Yard Width:
 - .a for the part of Lot 53, **Registered Plan M-3162**, which is adjacent to Lot 52:
 - .i 1.2 metres on the east side for a one storey dwelling, and 0.6 metres for each additional storey or part thereof, and 0.9 metres on the other side; and,
 - .ii where the space between the exterior walls of two buildings is less than 2.4 metres, no window below grade or door will be permitted in any wall abutting that space;
 - .b for the remainder of Lot 53, and for Lots 54 to 60, all on **Registered Plan M3162**:
 - .i 1.2 metres on one side and 0.9 metres on the other side; and,
 - .ii where the space between the exterior walls of two buildings is less than 2.4 metres, no window below grade or door will be permitted in any wall abutting that space.
- .3 Maximum Building Height: 8 metres.

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12.3197. Exception 3197

12.3197.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, including a motor vehicle repair shop, but excluding a motor vehicle body shop as a principal or accessory purpose;
 - .b a printing establishment;
 - .c a warehouse;
 - .d a parking lot; and,
 - .e an office, other than for a real estate office or an office for a physician, dentist, or drugless practitioner.
- .2 Non-Industrial:
 - .a a radio or television broadcasting and transmission establishment;
 - .b a furniture and appliance store;
 - .c a recreational facility or structure;
 - .d a community club; and,
 - .e only one mixed service restaurant.
- .3 Accessory:
 - .a an associated educational purpose;
 - .b an associated office;
 - .c a retail outlet operated in connection with a particular purpose permitted by ~~section~~ **Exception 12.3197.1.1**, provided that the total commercial gross floor area of the retail outlet is not more than 15 percent of the total gross floor area of the particular industrial use; and,
 - .d purposes accessory to the other permitted purposes.

12.3197.2 The lands shall be subject to the following requirements and restrictions:

- .1 the total Gross Floor Area of the restaurant shall not exceed 390.2 square metres;
- .2 the total Gross Floor Area of all buildings on the site shall not exceed 3300 square metres;
- .3 a minimum of 95 parking spaces shall be provided on the lot;
- .4 the total Gross Floor Area used for office purposes shall not exceed 558 square metres;

- .5 the customer serving area used for the provision of take-out and packaged fast food shall not exceed 1.5 percent of the gross floor area used for the restaurant; and,
- .6 no entertainment appealing to, or designed to appeal to, erotic or sexual appetites or inclinations shall be permitted in the restaurant.

12.3198 Exception 3198

12.3198.1 The lands shall only be used for the following purposes:

- .1 motor vehicle sales establishment;
- .2 motor vehicle body shop;
- .3 motor vehicle repair shop; and
- .4 purposes accessory to the other permitted purposes.

12.3198.2 The lands shall be subject to the following requirements and restrictions:

- .1 buildings shall be permitted only in the Building Area as shown on **Schedule C Figure 1-3198** to this by-law;
- .2 a building shall not exceed the building height as shown on **Figure 1 Schedule C-3198** to this by-law;
- .3 the Gross Floor Area of all buildings to be erected within Building Areas B and C, as shown on **Figure 1 Schedule C-3198** to this by-law, shall not exceed 744 square metres;
- .4 the Gross Floor Area of the building erected within Building Area A, as shown on **Figure 1 Schedule C-3198** to this by-law, shall not exceed 136 square metres;
- .5 minimum front yard depth, side yard width and rear yard depth shall not be less than that shown **Figure 1 on Schedule C-3198** to this by-law;
- .6 Landscaped Open Space shall be provided and maintained in the areas shown on **Figure 1 Schedule C-3198** to this by-law;
- .7 no storage shall be permitted outside a building except for motor vehicles offered for sale or intended to be serviced or repaired;
- .8 a solid screening wall composed of brick, architectural block, decorative concrete panel or similar material, not less than 2.4 metres in height above finished grade, shall be located along the boundary shown as WALL on **Figure 1 Schedule C-3198** to this by-law;
- .9 a vinyl covered chain link fence, not less than 1.83 metres in height above finished grade, shall be located along the boundary shown as FENCE on **Figure 1 Schedule C-3198** to this by-law;
- .10 a solid board screening fence, not less than 1.83 metres in height above finished grade, shall be located along the boundary shown as BOARD FENCE on **Figure 1 Schedule C-3198** to this by-law;
- .11 the width of a driveway leading to a parking area shall be a minimum width of 8 metres for two-way traffic; and,

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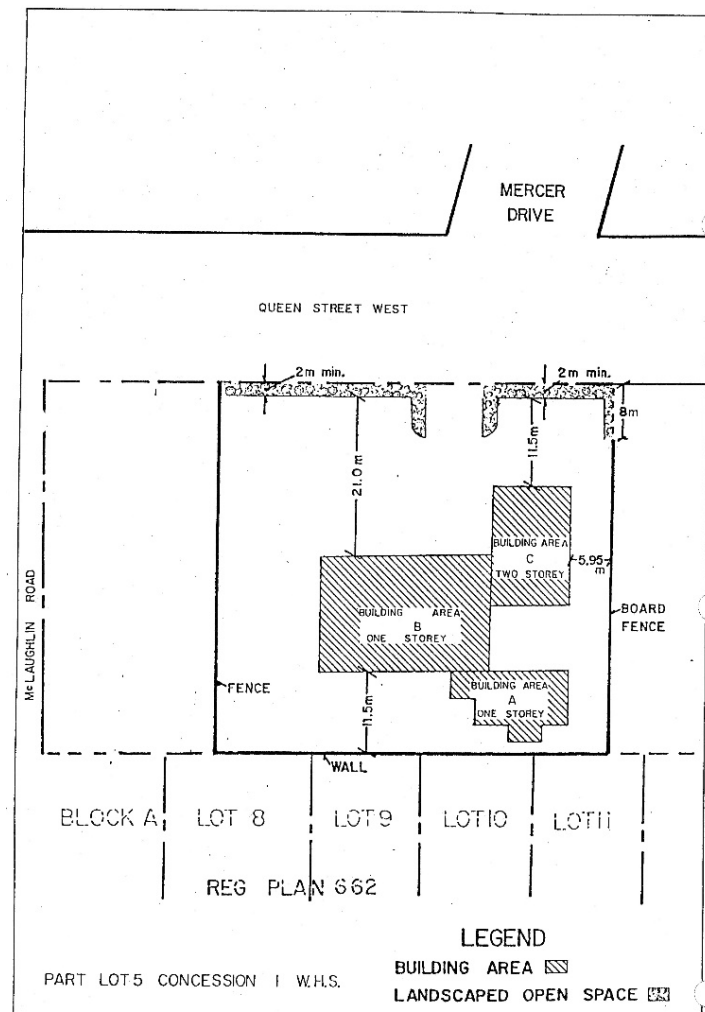
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.12 the minimum number of parking spaces to be provided shall be not less than 41 of which no more than 6 spaces may be tandem parking spaces. Not less than 27 parking spaces shall be located clear of the proposed road widening.

Figure 1



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